

ZARIN & STEINMETZ
ATTORNEYS AT LAW
81 MAIN STREET
SUITE 415
WHITE PLAINS, NEW YORK 10601

DAVID S. STEINMETZ*
MICHAEL D. ZARIN
DANIEL M. RICHMOND
BRAD K. SCHWARTZ

* ALSO ADMITTED IN D.C.
° ALSO ADMITTED IN CT.
△ ALSO ADMITTED IN N.J.

TELEPHONE: (914) 682-7800
FACSIMILE: (914) 683-5490
WEBSITE: WWW.ZARIN-STEINMETZ.NET

MEREDITH BLACK°
DAVID J. COOPER
JODY T. CROSS°

MARSHA RUBIN GOLDSTEIN
HELEN COLLIER MAUCH[△]
SUSAN H. SARCH*
LISA F. SMITH°
OF COUNSEL

September 23, 2009

By Hand Delivery

Chairman Roman Kozicky and
Members of the Planning Board of the
City of Yonkers
Planning Bureau
87 Nepperhan Avenue, Room 320
Yonkers, NY 10701

Re: Buena Vista Planned Urban Redevelopment

Dear Chairman Kozicky and Members of the Planning Board:

Our client, Teutonia Buena Vista, LLC (“Teutonia Buena Vista” or the “Applicant”), is pleased to submit the instant Special Use and Site Plan Application for a proposed Planned Urban Redevelopment (“PUR”) to be located along Buena Vista Avenue just south of Main Street (the “Buena Vista PUR” or “Project”).

In connection with the Application, enclosed please find:

- 1) The Site Plan;
- 2) Building Application Review from the Department of Housing and Buildings;
- 3) Notarized authorizations from the Property owners;
- 4) An Environmental Assessment Form (“EAF”); and
- 5) The requisite fees.

The Buena Vista PUR involves the redevelopment of a number of vacant and/or underutilized properties within the Downtown Waterfront Area. It consists of a 25-story,¹ 413 dwelling unit residential building, with an ancillary parking garage, and a rooftop hydroponic garden. The proposed multifamily dwelling building would be physically integrated with the adjoining Trolley Barn multifamily residential building at 92 Main Street. In addition, eight (8) two-bedroom dwelling units would be constructed at 66-72 Buena Vista Avenue. The overall site consists of 2.04 acres

¹ As per the accompanying site plan, the proposed building also includes three stories below street grade.

within the DW, CM and BR zoning districts² and would require, among other approvals, Special Permit approval to allow a PUR and Site Plan approval.

As set forth herein, the Project is in harmony with the applicable Special Use standards. It would transform contaminated, underutilized land into a cutting edge “green,” transit oriented development, which would substantially promote the revitalization of Downtown Yonkers. It integrates innovative planning visions with careful regard for preservation of the City’s historic past. As the Applicant’s project at 66 Main Street (“66 Main”) shows, the Applicant is committed to developing a Project that will be a model for other developers.

We look forward to a comprehensive review of the Project with your Board, the other Involved and Interested Agencies, and the public.

The Buena Vista PUR Complies With The General Standards For Special Permit Applications

A. The Buena Vista PUR Is in Harmony With The Yonkers Zoning Code

Consistent with Section 43-60(A)(1) of the Code of the City of Yonkers (“Yonkers Code”), the Buena Vista PUR promotes the general purposes of and intent of the Yonkers Code’s Zoning Chapter. The Buena Vista PUR, for example: (i) promotes the City’s long-term objectives, principles, and standards that are beneficial to the interests and welfare of the people; (ii) will protect the social and economic well being of the City; and (iii) otherwise conserve and enhance building and land values. (See Yonkers Code §§ 43-3(A), (B) & (G).)

The Buena Vista PUR promotes the utilization of land for the purposes for which it is most desirable and best adapted, fosters a relatively dense urban context in an appropriate location, and enhances the pedestrian orientation of the City and its tradition as a mass transportation center. (See Yonkers Code §§ 43-3(C),(I) & (J).) The proximity of the development Site to the Yonkers Train Station makes it an ideal location for transit orientated development of the sort proposed by the Buena Vista PUR. The Project also maximizes view corridors for the public. By building up, rather than out, the Project would preserve existing important public viewsheds

Moreover, the Project would rehabilitate significant tracts that are now unusable as the result of historic contamination. Much of the Project Site consists of a brownfield as the result of past industrial activity. The Applicant is a participant in New York’s Brownfield Clean-up Program and is committed to restoring the Site.

The Applicant is also extremely sensitive to the environmental impact of any development it undertakes. Toward that end, it intends to employ a number of “green” elements, with an eye toward achieving Leadership in Energy and Environmental Design (“LEED”) for its Project. Among the “green” elements it proposes are:

Clean, Renewable Energy: The Applicant was responsible for the development of 66 Main, a project that has been widely recognized for its groundbreaking use of green,

² City of Yonkers GIS data, September 2009.

renewable geothermal energy. The Buena Vista PUR will similarly incorporate enhanced green energy systems. In addition to geothermal HVAC, it will employ combined heat and power (“CHP” or “cogeneration”) in which microturbines, located on site, create clean electricity from natural gas. Heat generated by this activity will then be consumed by other uses (heat, hot water, etc.) in the Project. Consequently, there will be little waste and limited drain on the electric grid. The Applicant intends to use the thermal energy generated in the CHP process to heat the proposed on-Site hydroponic farm on a year-round basis.

Rain Water Management Systems: The Applicant recognizes the potentially deleterious impact of excess rainwater on the City’s sewer and water management systems. To avoid adverse impacts from the Project on the local sewer system, the Applicant will install water cisterns on-Site to collect and retain rainwater. This water will be supplied to the hydroponic farm, substantially reducing its reliance on local water supplies, in addition to reducing the Project’s storm water impact on the City’s sewer system.

Local Produce Year-round: Most produce consumed in the Northeast travels extraordinary distances to get from farm to table – especially in the winter. A local, year-round greenhouse will provide produce to restaurants and grocery stores more efficiently than that raised in other parts of the country or abroad, saving on fossil fuels and carbon emissions.

Clean-tech Parking: The average driver travels a half-mile from entry into a standard parking garage until he or she reaches a parking spot. The Project’s proposed automated garage eliminates substantially all of this wasted fuel. Drivers simply drive into a parking bay, turn off the car, and walk away. The car is then moved to a parking spot by electric motors (using clean power generated by the Project’s CHP system). This element will also promote the City’s Zoning goal of preventing traffic congestion. (See Yonkers Code § 43-3(F).)

The Project would also alleviate overcrowding in the City by adding significant affordable housing to the City’s housing stock. (See Yonkers Code § 43-3(E).) The Applicant has extensive experience successfully integrating affordable housing tenants with market rate tenants. Twenty percent (20%) of the units in the Buena Vista PUR are intended to be dedicated to affordable housing, creating an economically diverse community.

The Project also recognizes and intends to preserve the physical and historic aspects of the older developed area of the City of Yonkers, and promotes development in scale with historic architecture. (See Yonkers Code §§ 43-3(H) & (K).) Indeed, the Applicant’s objective is to demonstrate that environmental, historic preservation, and economic objectives can be successfully integrated. As such the Project includes the creation of what would essentially be a mini-historic district.

The Applicant proposes preserving the façade of Teutonia Hall by relocating it from its present site and reassembling it on-Site at a location just to the south. In addition to preserving the critical elements of Teutonia Hall, the Applicant plans to effectively create a historic district on the southern end of the block, across from the Queens Daughters Day Care. The Developer has secured the rights to purchase 66-72 Buena Vista Avenue. This site, located on the east side of Buena Vista Avenue and across from the proposed 25-story multifamily building, includes one of two houses owned by the Otis family in the 1800’s (the other, 74 Buena Vista Avenue is a sister house that is not

yet available to the Applicant). The Applicant intends to restore 72 Buena Vista Avenue and adaptively re-use it for residential purposes. Specifically, the building at 72 Buena Vista Avenue, along with another existing residential building, will be restored and redeveloped into eight (8) two-bedroom apartments. Fifteen on-site parking spaces will be provided adjacent to the two restored residential buildings.

The Applicant intends to strictly comply with all federal, state and local regulations and guidelines for preserving, managing, and documenting cultural resources within the Site, and eagerly anticipates the involvement of the Yonkers Landmark Preservation Board in this process. The Applicant's studies of Teutonia Hall, and any additional studies required during the Scoping process under the New York State Environmental Quality Review Act ("SEQRA"), will be available for comprehensive review by your Board, all other Involved the Lead Agency, Involved Agencies and the public during the SEQRA process.

B. The Project Would Have A Positive Impact On The Character of the District

By transforming contaminated, underutilized land into a cutting edge "green," transit oriented development, the Project would substantially promote the revitalization of Downtown Yonkers. (See Yonkers Code § 43-60(B).) The Project would unite new visions for Yonkers with due regard for preservation of the City's historic past through the preservation of the critical elements of Teutonia Hall in conjunction with the adaptive re-use of the former Otis residence.

The Project will further enhance the revitalization of the Downtown Waterfront District through short-term and long-term job creation, which is critical to the economic and social health of any community. The Applicant intends to implement an apprenticeship program for local youth, similar to the successful program it implemented during the construction of 66 Main. Beyond construction jobs, the Project will positively impact employment across the income spectrum. Permanent positions will be created in building management, maintenance and operations.

Moreover, with 413 new residential units, the Project is anticipated to bring more than 600 new customers to Downtown Yonkers.

Finally, the hydroponic farm will provide permanent educational opportunities to the local community, including school programs and internships.

C. The Project Is Appropriate To The Neighborhood And Is In Harmony With Existing Traffic Patterns

As set forth in greater detail above, the Project involves the restoration of contaminated property in close proximity to the Yonkers Train Station to create a model, "green" transit oriented development. (See Yonkers Code § 43-60(C).) It will play a prominent role in the City's efforts to revitalize the Downtown Waterfront District. The Project preserves viewsheds by building up, rather than out.

The Project will also include a state-of-the art parking garage that will further avoid any adverse impacts on traffic in the area.

**D. The Proposed PUR Is Consistent
With The City's Official Plans**

The City has expressed in its most recent Comprehensive Plan, entitled "*Connections: The Yonkers Comprehensive Plan*," its intent to foster the redevelopment of the Downtown Waterfront area. Consistent with this goal, the Applicant proposes to redevelop vacant and underutilized property for residential and commercial uses in this area.

As described above, a 413-unit multifamily residential building would be constructed south of and adjacent to the Trolley Barn, attracting a population that would stimulate and induce commercial activity along nearby Main Street and other shopping locations in and around the Downtown area. An additional eight (8) multifamily dwellings would be constructed to the east of this new residential building. Consistent with the *Yonkers Comprehensive Plan's* objectives related to housing, the Project proposed to include an affordable housing component to ensure that an economically diverse population is introduced to the Downtown Waterfront area. The hydroponic farm would introduce a "green" commercial use within the Downtown area, which would serve the local produce markets and restaurants in the City. This farm would be situated above a low-rise parking deck, a design feature intended to preserve existing view corridors to the Hudson River and Palisades beyond.

The Project and its façade will be designed architecturally to maintain a "pedestrian-scale" streetscape along Buena Vista Avenue. As part of a streetscape program, the façade of Teutonia Hall will be preserved and reintegrated into the new building's façade. Consistent with the design intent of the *Riverview Urban Renewal Plan*, sidewalks will be reconstructed and enhanced with decorative lighting (either pole or building mounted), street furniture, and street trees to preserve and enhance the Buena Vista Avenue pedestrian corridor.

Furthermore, consistent with the Riverview Urban Renewal Plan, the Applicant will rehabilitate two buildings on the east side of Buena Vista Avenue, including the historic structure at 72 Buena Vista Avenue and work to create a mini-historic district at the southern end of the Project area. This will include appropriate streetscape improvements that complement streetscape improvements on the west side of Buena Vista Avenue.

In sum, consistent with the goals set forth in the City's official planning documents, the Buena Vista PUR is intended to revitalize the residential blocks on either side of Buena Vista Avenue between Main Street and Prospect Street and create an attractive residential enclave that stimulates additional improvements in Downtown Yonkers.

Conclusion

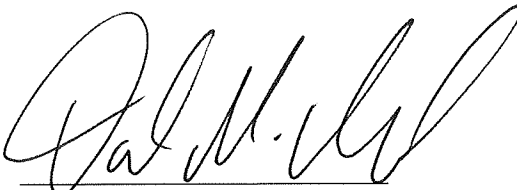
On behalf of the Applicant's Development Team, we look forward to presenting this exciting Project to your Board at its October 14th Meeting and working with it, the other Involved and

Interested Agencies, and the public throughout the review process.

Please do not hesitate to contact us should the Board have any questions or comments.

Respectfully Submitted,

ZARIN & STEINMETZ

By: 
Daniel M. Richmond

DMR/mth

encs.

cc: Applicant's Development Team